

B-3287 - B-3298

1845-1900

1044-1000 S. Charles St. (West side)

Baltimore, Md.

Private and semi-public access

The houses that were originally built along this side of S. Charles St. in the late 1840's were built either as two story plus attic, two bay wide brick houses, or three story, two bay wide brick houses, both with gable roofs. Most served a combination residential/commercial function. A number of these original houses have survived in close to their original exterior form, but many were remodeled after the Civil War and now have shed roofs and bracketed cornices. 1026 S. Charles St. is particularly noteworthy for its surviving Victorian-style shopfront with cast iron corner columns. The original group of gable-roofed houses that stood at 1000-1010 S. Charles St. was replaced in 1900 by a large three story, five bay wide, brown brick department store with Classical Revival details (Wessel's Department store) which now serves as a supermarket.

MARYLAND HISTORICAL TRUST

B-3294
MAGI 0432942411

INVENTORY FORM FOR STATE HISTORIC SITES SURVEY

1 NAME

HISTORIC

AND/OR COMMON

2 LOCATION

STREET & NUMBER

1018 S. Charles St.

CITY, TOWN

Baltimore

VICINITY OF

CONGRESSIONAL DISTRICT

STATE

Maryland

COUNTY

3 CLASSIFICATION

CATEGORY

☐ DISTRICT

☒ BUILDING(S)

☐ STRUCTURE

☐ SITE

☐ OBJECT

OWNERSHIP

☐ PUBLIC

☒ PRIVATE

☐ BOTH

PUBLIC ACQUISITION

☐ IN PROCESS

☐ BEING CONSIDERED

STATUS

☒ OCCUPIED

☐ UNOCCUPIED

☐ WORK IN PROGRESS

ACCESSIBLE

☒ YES: RESTRICTED

☐ YES: UNRESTRICTED

☐ NO

PRESENT USE

☐ AGRICULTURE

☒ COMMERCIAL

☐ EDUCATIONAL

☐ ENTERTAINMENT

☐ GOVERNMENT

☐ INDUSTRIAL

☐ MILITARY

☐ MUSEUM

☐ PARK

☒ PRIVATE RESIDENCE

☐ RELIGIOUS

☐ SCIENTIFIC

☐ TRANSPORTATION

☐ OTHER:

4 OWNER OF PROPERTY

NAME

Telephone #:

STREET & NUMBER

CITY, TOWN

VICINITY OF

STATE, zip code

5 LOCATION OF LEGAL DESCRIPTION

COURTHOUSE,
REGISTRY OF DEEDS, ETC.

Records Office Room 601

Liber #:

Folio #:

STREET & NUMBER

Baltimore City Courthouse

CITY, TOWN

Baltimore

STATE

Maryland 21202

6 REPRESENTATION IN EXISTING SURVEYS

TITLE

DATE

☐ FEDERAL ☐ STATE ☐ COUNTY ☐ LOCAL

DEPOSITORY FOR
SURVEY RECORDS

CITY, TOWN

STATE

7 DESCRIPTION

B-3294

CONDITION

☐ EXCELLENT
☒ GOOD
☐ FAIR

☐ DETERIORATED
☐ RUINS
☐ UNEXPOSED

CHECK ONE

☐ UNALTERED
☒ ALTERED

CHECK ONE

☒ ORIGINAL SITE
☐ MOVED DATE _____

DESCRIBE THE PRESENT AND ORIGINAL (IF KNOWN) PHYSICAL APPEARANCE

This three story, two bay brick house with shed roof and bracketed cornice represents a remodeling of the original gable roofed house that was built on this site in the 1840's and formed part of a row of such houses extending along this side of Charles St. The first floor area of the house has been converted into a store-front.

The house is three stories in height, 15' wide, and occupies a lot 84' deep. The house is constructed in running bond. The shed roof is capped by a stamped sheet metal cornice consisting of a deeply projecting crown molding set above a row of dentils and a molding strip. Three brackets connect the cornice to a lower molding strip, the two end brackets terminating at their upper edges in "anthemion" motifs. Two punched metal ventilating panels punctuate the brick frieze formed between the cornice and the lower molding strip.

The second and third floor window openings have segmentally arched brick lintels with scroll-sawed tympanums. The sills are wood. All of the window openings are filled with 1/1 double hung sash. The first floor area has been converted into a store-front. A glass and panel door, set beneath a single light transom, the lower edge of which is bordered by a row of quarter-round carvings and a row of dentils, is located in the northernmost bay, flanked by a three-sided plate glass shop window set on a paneled wooden base. The front of the shop window has two lower vertical panels of glass set beneath an upper horizontal panel of glass. The entire store-front area has a deep wooden cornice, consisting of a deeply projecting crown molding decorated with a row of pointed scallops and set above a row of modillions, a row of dentils, and a deep frieze area bordered by a row of cut-work scallops. Two grooved end brackets support the cornice. The entrance is reached by two stone steps. An arched alleyway runs back between 1018 and 1016 Charles St.

CONTINUE ON SEPARATE SHEET IF NECESSARY

8 SIGNIFICANCE

PERIOD		AREAS OF SIGNIFICANCE -- CHECK AND JUSTIFY BELOW			
<input type="checkbox"/> PREHISTORIC	<input type="checkbox"/> ARCHEOLOGY-PREHISTORIC	<input type="checkbox"/> COMMUNITY PLANNING	<input type="checkbox"/> LANDSCAPE ARCHITECTURE	<input type="checkbox"/> RELIGION	
<input type="checkbox"/> 1400-1499	<input type="checkbox"/> ARCHEOLOGY-HISTORIC	<input type="checkbox"/> CONSERVATION	<input type="checkbox"/> LAW	<input type="checkbox"/> SCIENCE	
<input type="checkbox"/> 1500-1599	<input type="checkbox"/> AGRICULTURE	<input type="checkbox"/> ECONOMICS	<input type="checkbox"/> LITERATURE	<input type="checkbox"/> SCULPTURE	
<input type="checkbox"/> 1600-1699	<input checked="" type="checkbox"/> ARCHITECTURE	<input type="checkbox"/> EDUCATION	<input type="checkbox"/> MILITARY	<input type="checkbox"/> SOCIAL/HUMANITARIAN	
<input type="checkbox"/> 1700-1799	<input type="checkbox"/> ART	<input type="checkbox"/> ENGINEERING	<input type="checkbox"/> MUSIC	<input type="checkbox"/> THEATER	
<input checked="" type="checkbox"/> 1800-1899	<input type="checkbox"/> COMMERCE	<input type="checkbox"/> EXPLORATION/SETTLEMENT	<input type="checkbox"/> PHILOSOPHY	<input type="checkbox"/> TRANSPORTATION	
<input type="checkbox"/> 1900-	<input type="checkbox"/> COMMUNICATIONS	<input type="checkbox"/> INDUSTRY	<input type="checkbox"/> POLITICS/GOVERNMENT	<input type="checkbox"/> OTHER (SPECIFY)	
		<input type="checkbox"/> INVENTION			

SPECIFIC DATES 1842-1850

BUILDER/ARCHITECT Ludwig Ehlers

STATEMENT OF SIGNIFICANCE

See under 1028-1030 S. Charles St.

This house, like many other such houses in the area, has had its original gable roof remodeled to resemble a shed roof with a fashionable bracketed cornice added. The house was built by Ludwig Ehlers, who also built the adjoining house at 1016 S. Charles St. The first owner-occupant of this house was a Philip Kimmet, a tailor who had a shop here in the 1850's.¹

¹Baltimore City Land Records, Liber TK 325, Folio 72; AWB 462, Folio 404;
Baltimore City Directory, 1853-4, 1856-57

9 MAJOR BIBLIOGRAPHICAL REFERENCES

CONTINUE ON SEPARATE SHEET IF NECESSARY

10 GEOGRAPHICAL DATAACREAGE OF NOMINATED PROPERTY 15' x 84'

VERBAL BOUNDARY DESCRIPTION

LIST ALL STATES AND COUNTIES FOR PROPERTIES OVERLAPPING STATE OR COUNTY BOUNDARIES

STATE

COUNTY

STATE

COUNTY

11 FORM PREPARED BY

NAME / TITLE

M.E. Hayward / Historic Sites Surveyor

ORGANIZATION

Maryland Historical Trust / Struever Bros. & Eccles

DATE

5/79

STREET & NUMBER

1745 Circle Rd.

TELEPHONE

CITY OR TOWN

Ruxton

STATE

Maryland 21204

The Maryland Historic Sites Inventory was officially created by an Act of the Maryland Legislature, to be found in the Annotated Code of Maryland, Article 41, Section 181 KA, 1974 Supplement.

The Survey and Inventory are being prepared for information and record purposes only and do not constitute any infringement of individual property rights.

RETURN TO: Maryland Historical Trust
The Shaw House, 21 State Circle
Annapolis, Maryland 21401
(301) 267-1438

B-3294

REVIEW SHEET

Historic Preservation Certification Application—Significance

Property: 1018 SOUTH CHARLES STREET, BALTIMORE, MD. Project No.: _____

Historic District: FEDERAL HILL
8-25-87 date initial application received by State _____ date(s) additional information requested by State
8-25-87 date complete information received by State _____
_____ date of this transmittal to NPS _____
Inspection of property by State staff? ☒ no ☐ yes date(s): _____

☒ There is adequate documentation enclosed to evaluate the historic character and integrity of this property.
☐ There is insufficient documentation to evaluate the property adequately. The application is missing the following items:

Reasonable efforts have been made to obtain this information. Copies of the information requests are enclosed.

NUMBER	This property involves:
1	<input checked="" type="checkbox"/> Extensive loss of historic fabric <input type="checkbox"/> Substantial alterations over time <input type="checkbox"/> Preliminary determination of listing _____ for district _____ for individual property <input type="checkbox"/> Significance less than 50 years old <input type="checkbox"/> Obscured or covered elevation(s) <input type="checkbox"/> Moved property <input type="checkbox"/> State recommendation inconsistent with NR documentation <input type="checkbox"/> Recommendation different from the applicant's request

NUMBER	Complete item(s) below as appropriate.
2	<p>(1) The documentation on file with the National Register cites the period(s) of significance of this historic district as <u>18TH, 19TH & EARLY 20TH</u></p> <p>(2) The property <input checked="" type="checkbox"/> contributes <input type="checkbox"/> does not contribute to the historic significance of this registered historic district in: <input checked="" type="checkbox"/> location <input checked="" type="checkbox"/> design <input checked="" type="checkbox"/> setting <input checked="" type="checkbox"/> materials <input checked="" type="checkbox"/> workmanship <input checked="" type="checkbox"/> feeling <input type="checkbox"/> association _____ Property is mentioned in the NR or State or local district documentation in Section <u> </u>, page <u> </u>.</p> <p>(3) For properties less than 50 years old: _____ the historical merits of the district (the periods and areas of significance) are documented in the National Register form or district documentation on file as less than 50 years old, justifying the certification of this property's contribution. _____ the exceptional historical or architectural significance of this property as described in the National Register form or district documentation on file justifies its certification as contributing. _____ there is insufficient justification to consider this property as contributing to the district for its individual exceptional architectural or historical significance or the significance of the district does not extend to the last 50 years.</p> <p>(4) For preliminary determinations: A. The status of the nomination for the property/historic district: _____ Nomination has already been submitted to State review board, and nomination will be forwarded to the NPS within _____ months. (Draft nomination is enclosed.) _____ Nomination was submitted to the NPS on _____ _____ Nomination will be submitted to the State review board within twelve months. _____ Nomination process likely will be completed within thirty months. _____ Other, explain: _____</p> <p>B. Evaluation of the property: _____ Property is individually eligible and meets National Register Criteria for Evaluation _____ Property is located within a potential registered district that meets National Register Criteria for Evaluation: <u> </u> A <u> </u> B <u> </u> C <u> </u> D Criteria Considerations: <u> </u> A <u> </u> B <u> </u> C <u> </u> D <u> </u> E <u> </u> F <u> </u> G</p> <p>(5) The property is located in a registered district, is outside the period(s) or area(s) of significance as documented in the NR form and: _____ appears to contribute to the expanded significance of the district. Enclosed is the revised nomination documentation. _____ does not appear to contribute to the period(s) or area(s) of significance of the district.</p>

NUMBER

3

Describe and evaluate the physical characteristics of the property, its integrity, and its significance within the context of the historic district (or individually for preliminary determinations of individual listings).

BUILT IN CIRCA 1920, THIS LATE VICTORIAN ROWHOUSE IS TYPICAL OF THE COMMERCIAL / RESIDENTIAL BUILDINGS BUILT THROUGHOUT THE 19TH AND EARLY 20TH CENTURIES IN FEDERAL HILL. VERY LITTLE REMAINS OF THE INTERIOR DUE TO A MAJOR FIRE. THE MOST SIGNIFICANT REMAINING FEATURES ARE ON THE FRONT FACADE WHERE THE CORNICE, FENESTRATION AND STOREFRONT REMAIN RELATIVELY INTACT. IT IS ALSO CONTRIBUTES TO THE STREETSCAPE OF THE COMMERCIAL DISTRICT OF FEDERAL HILL.

NUMBER

4

State Official Recommendation:

This application for the above-named property has been reviewed by MICHAEL DAY

a professionally qualified architect, architectural historian, or historian on my staff.

- ☒ The property is included within the boundaries of a registered historic district, contributes to the significance of the district, and is a "certified historic structure" for the purpose of rehabilitation.
- ☐ The property is included within the boundaries of a registered historic district, contributes to the significance of the district, and is a "certified historic structure" for a charitable contribution for conservation purposes in accordance with the Tax Treatment Extension Act of 1980.
- ☐ The property does not contribute to the significance of the above-named district.
- ☐ The property appears to meet the National Register Criteria for Evaluation and will likely be nominated.
- ☐ The property does not appear to meet the National Register Criteria for Evaluation and will not be nominated.
- ☐ The property appears to contribute to the significance of a:
- ☐ potential historic district which appears to meet the National Register Criteria for Evaluation and will likely be nominated.
- ☐ registered historic district but is outside the period(s) or areas of significance as documented in the National Register nomination or district documentation on file with the NPS. Revised nomination or district documentation is enclosed.
- ☐ The property should be denied a preliminary determination that it could qualify as a certified historic structure.
- ☐ Insufficient documentation has been provided to evaluate the structure.

☐ Detailed NPS review recommended ☐ Precedent-setting case ☐ Forwarded without recommendation

Date

9-25-87

State Official Signature



See attachments:

NPS Comments:

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 1 - EVALUATION OF SIGNIFICANCE

B-3294

NPS Office Use Only

Project Number:

Instructions: Read the instructions carefully before completing application. No certification will be made unless a completed application form has been received. Use typewriter or print clearly in black ink. If additional space is needed, use continuation sheets or attach blank sheets.

1. Name of property: 1018 South Charles Street
Address of property: 1018 South Charles Street
City Baltimore County _____ State MD Zip Code 21230
Name of historic district: Federal Hill Historic District

☒ National Register district ☐ certified state or local district ☐ potential historic district

2. Check nature of request:

- ☒ certification that the building contributes to the significance of the above-named historic district for the purpose of rehabilitation.
☐ certification that the structure or building and, where appropriate, the land area on which such a structure or building is located contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes.
☐ certification that the building does not contribute to the significance of the above-named district.
☐ preliminary determination for individual listing in the National Register.
☐ preliminary determination that a building located within a potential historic district contributes to the significance of the district.
☐ preliminary determination that a building outside the period or area of significance contributes to the significance of the district.

3. Authorized project contact:

Name David A. Quaranta & Mark Grande Title _____
Street 930 Yachtsman Way City Annapolis
State MD Zip 21403 Telephone Number (during day): (301) 789-0200 (DQ)
(301) 792-2828 (MG)

4. Owner:

Name same as project contacts
Street _____ City _____
State _____ Zip _____ Telephone Number (during day): _____

I hereby attest that the information I have provided is, to the best of my knowledge, correct, and that I own the above-named property.

Owner's Signature [Signature] Date 8/13/87

Social Security Number or Taxpayer Identification Number Quaranta [Redacted] Grande [Redacted]

NPS Office Use Only

The National Park Service has reviewed the "Historic Preservation Certification Application - Part 1" for the above-named property and hereby determines that the property:

- ☐ contributes to the significance of the above-named district and is a "certified historic structure" for the purpose of rehabilitation.
☐ contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes in accordance with the Tax Treatment Extension Act of 1980.
☐ does not contribute to the significance of the above-named district.

Preliminary Determinations:

- ☐ appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
☐ does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.
☐ appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.
☐ appears to contribute to the significance of a registered historic district but is outside the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS.
☐ does not appear to qualify as a certified historic structure

Date

National Park Service Authorized Signature

National Park Service Office

1018 S. Charles St.

Property Name

1018 S. Charles St.

Property Address

David A. Quaranta & Mark Grande

Owner Name/Social Security or Taxpayer ID Number

HISTORIC PRESERVATION
CERTIFICATION APPLICATION—
PART 1

NPS Office Use Only

B-3294

Project Number:

5. Description of physical appearance:

see attached description

see attached description

Date of Construction: 1920 (approx.) Source of Date: Balt. City records, local residents,

Date(s) of Alteration(s): n/a

& prior owner

Has building been moved? ☐ yes ☒ no. If so, when?

6. Statement of significance:

see attached statement

7. Photographs and maps.

Attach photographs and maps to application.

see attached photographs.

Continuation sheets attached: ☒ yes ☐ no

Section 5: Description of Physical Appearance

The building located at 1018 S. Charles St. is a three story brick building which was constructed in approximately 1920. It is rectangular in shape with three floors in the front two-thirds of the building and two floors in the rear. The entire first floor is currently used as a retail storefront, the second floor as a two bedroom apartment, and the third floor is used as a one bedroom apartment.

Unfortunately, a devastating fire occurred in April, 1985 which destroyed most of the building's interior. In addition, most of the exterior features in the rear of the building were destroyed by either the fire itself, or the fireman as they attempted to extinguish the fire. We have described in this section the distinguishing architectural features of the building as they existed at the time of our purchase of the building in August, 1985.

The current configuration, as described above, is similar to the original configuration of the building except that the top two floors were originally constructed and used as a single unit. Most likely, the building served both as a store and residence for a shopkeeper from 1920 until approximately 1965. The second and third floors were divided into separate units in approximately 1965 according to the previous owner, and used as such until 1985. Separate entrances were not constructed, however, so the second and third floor tenants shared a common entrance accessed through a doorway added on the north side of the building in 1965. The original interior staircase rising between floors was left intact during this period and was the only method of entrance to the apartments. An additional bathroom was added to the third when it was converted into an individual unit in 1965. The second floor kitchen and bathroom were updated with conventional appliances and appurtenances at that time also. The following paragraphs in this section describe in detail the features of the building as it existed in August, 1985.

Exterior Features:

- 1 - Brick masonry facade.
- 2 - Wood frame storefront window (glass missing) with cornice above detailed by raised face bracket, fascia, dentals, and bed molding. Original panel molding below storefront window.
- 3 - Two equally spaced wood bull-nose framed double-hung windows per floor in front of building with wood sills, facings, and one-over-one sashes. Glass and sashes missing. Window frames intact.
- 4 - Wood framed storefront door frame and fixed transom window above (glass missing from both).

- 5 - Replacement shutters of metal construction on front of building attached to brick by screws. Shutters were added in approximately 1965.
- 6 - Wood bull-nose door frame (door missing) at rear entrance to first floor. Fixed transom window above doorway.
- 7 - Flat roof constructed of ribbed metal panels. Holes cut in roof by fireman.
- 8 - Basement under entire building accessed from exterior side. Cement floor of 3/4 height.
- 9 - North side windows on 1st, 2nd, and 3rd floors were originally bull-nose framed double-hung windows with one-over-one sashes. No window sashes existing. Eight of nine frames were destroyed by fire or fireman.

Interior Features of First Floor:

The first floor is divided into three rooms. A large retail area occupies the majority of the floor space. A small bathroom and office are located at the rear. This is exactly the same as the original configuration.

- 1 - Wood staircase originally rising to the 2nd floor living space was completely destroyed by fire and rendered structurally unsound.
- 2 - Wood door, window, and baseboard moldings charred by fire.
- 3 - Floor constructed of 2.5 inch wide pine wood through entire 1st floor. Severe water and fire damage found.
- 4 - Partition walls constructed of plaster and lathe.

Interior Features of Second Floor:

The second floor originally consisted of a bedroom, bathroom, kitchen, and living room. In 1965, a second bedroom was added and the second floor became an individual unit.

- 1 - Prominent black slate fireplace mantel in living room area. Fireplace was apparently fully functional and in use until the time of the fire.
- 2 - Wood door, window, and baseboard moldings from original construction.
- 3 - Wood staircase rising to 3rd floor living space was completely destroyed.
- 4 - Passageway between 1018 and 1016 building in living area near front of building.
- 5 - Wood floor constructed of 2.5 inch pine boards through entire 2nd floor. Majority of floor was damaged by fire but judged restorable.
- 6 - Partition wall construction of plaster over lathe. Supporting exterior walls constructed of plaster over brick.

Interior Features of Third Floor:

The third floor consisted of two rooms used primarily as a storage area until 1965. At that time a bathroom was added to the rear end of the area and it became a separate unit.

- 1 - Wooden staircase to 2nd floor served as access to unit. Handrails, spindles, and steps damaged beyond restoration.
- 2 - Partition wall constructed of plaster over lathe.
- 3 - Pine wood floors of same material as second floor and in restorable condition.
- 4 - Access to roof through doorway located at rear wall of building. Door missing and wood frame severely damaged.
- 5 - Severe deterioration of plaster ceilings due to water damage.
- 6 - Brick chimney rising up north wall from fireplace below.

Relationship to Historic District:

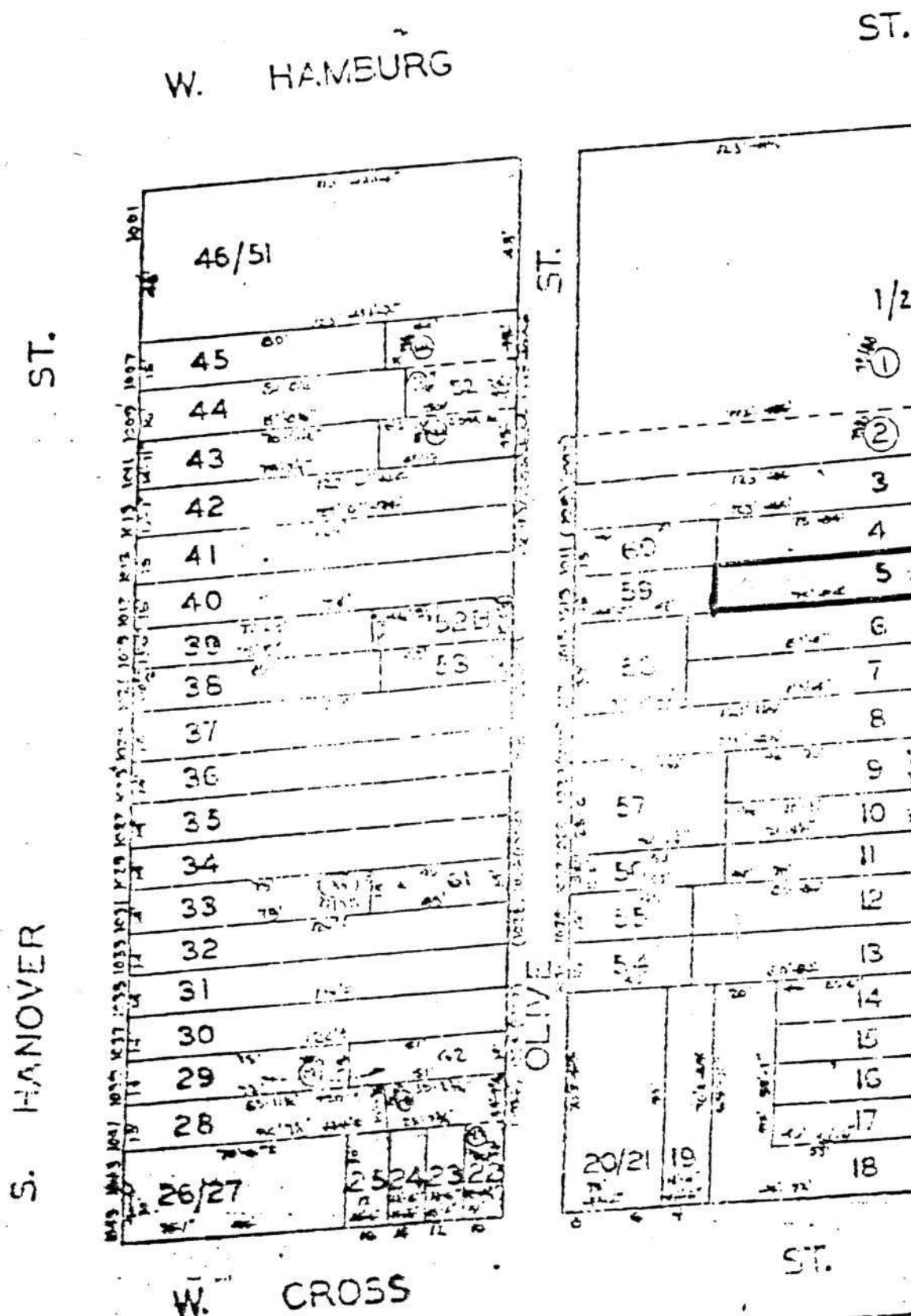
1018 S. Charles Street represents a typical Federal Hill storefront facade. The masonry construction, wooden store window, and equally spaced bull-nose windows on the second and third floors contribute to the nature of the street. Adjoining buildings are of similar construction and configuration as displayed in photograph #1. The building's use as a retail store with living quarters above were the typical configuration of the period in Federal Hill. The 1000 block of S. Charles Street, where this building is situated, continues to thrive as a retail district just as it did in the early 1900's.

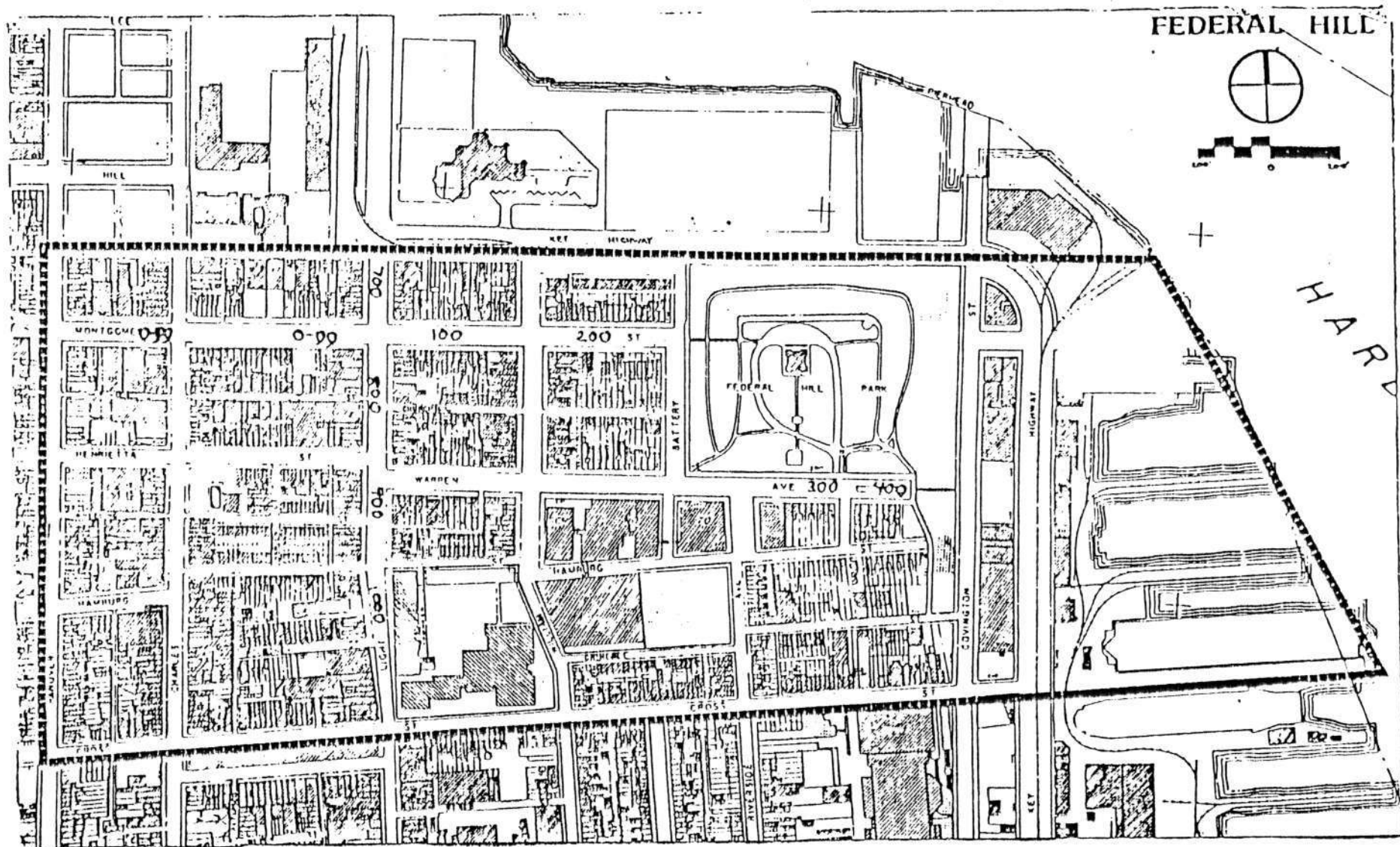
Section 6: Statement of Significance

1018 S. Charles Street contributes to the significance of the Federal Hill Historic District of Baltimore City due to its architectural features and service as a retail store in a developing urban commercial and residential community. Commercial buildings of the late 19th and early 20th centuries are located on the S. Charles Street corridor. The S. Charles Street Corridor served the community in its early years as a retail shopping and supply district. The retail shops drew customers from the surrounding Federal Hill residential community. The architectural features contributing to the district which are present in our property include bond brick masonry, bracketed cornices, and a decorative storefront facade among many others. It is situated among numerous other buildings which have been renovated to conform with the historic nature of the Federal Hill Historic District. The building is similar to others in the district in its size, scale, materials, and style.

EXHIBIT I
Plat of Property

B-3294





FEDERAL HILL NATIONAL REGISTER HISTORIC DISTRICT 4/17/70

VINTAGE MAP

B-3294

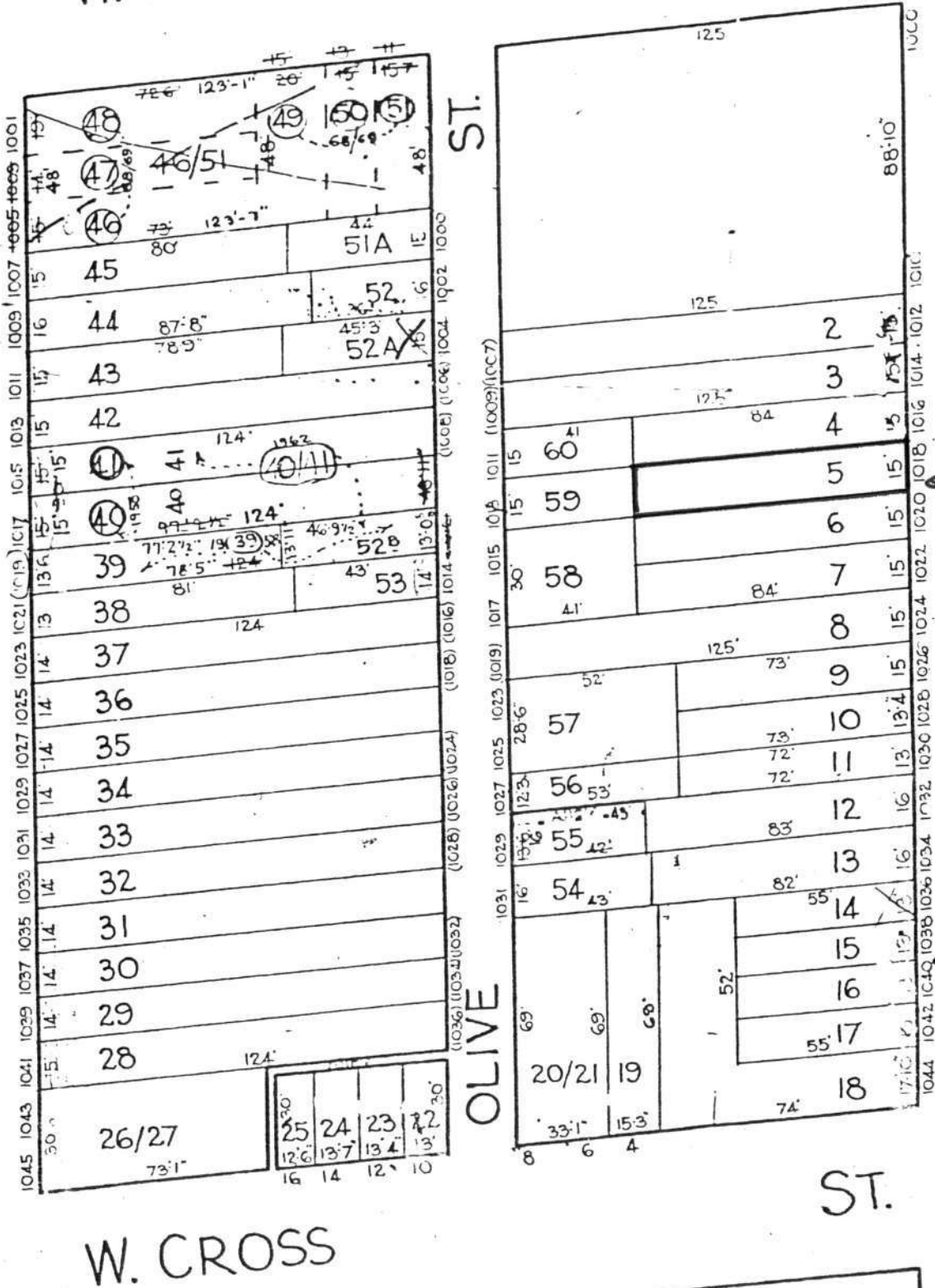
B-3294

ST.

W. HAMBURG

ST.

S. HANOVER



ST.

S. CHARLES

ST.

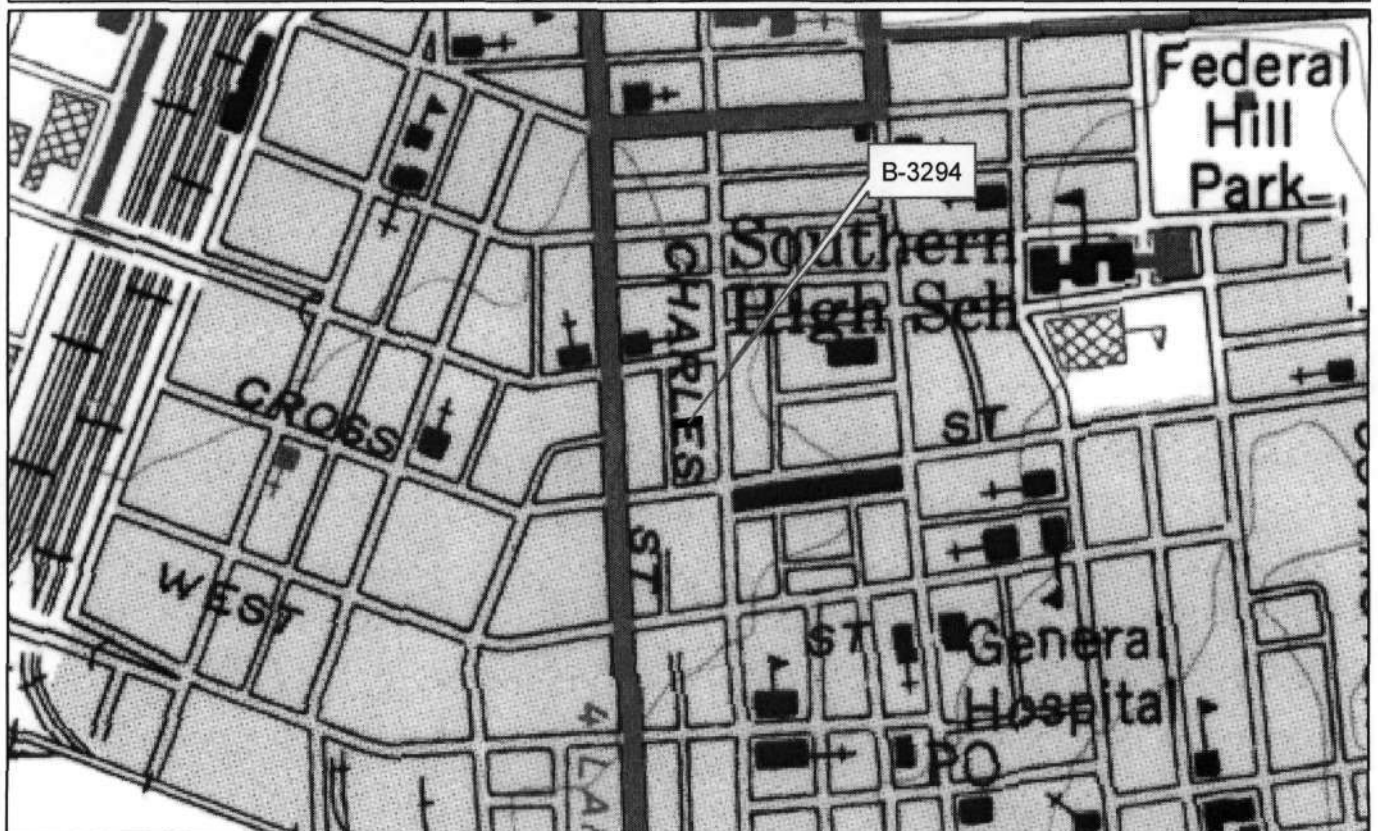
NOTICE

THIS IS A REAL PROPERTY PLAT AS PROVIDED FOR UNDER ARTICLE 76M OF THE CITY CHARTER. IT IS COMPILED FROM TITLE AND OTHER SOURCES AND IS NOT AN AUTHENTIC SURVEY.

CITY OF
DEPARTMENT OF
BUREAU OF PL
PROPERTY LO

WARD 23
BLOCK
SCALE 1 IN. = 50 FT.

B-3294
1018 S. Charles Street
Block 0933 Lot 005
Baltimore City
Baltimore East Quad.





B-3294

1018 S. Charles St.

~~M.E.H.~~

5/79

East elevation